

Business Licence – Short-Term Rental

PLEASE NOTE: Only complete applications will be accepted

Applicant Contact Information

Applicant is: Sole Property Owner Yes No *(See Owner's Authorization Form)*

Name: _____

Email: _____ **Phone Number(s):** _____

Mailing Address: _____

City Province Postal Code

Government Photo ID provided Yes No

Residential Address on Identification _____

Property Owner Contact Information *(attach a separate page if necessary)*

Name: _____

Email: _____ **Phone Number(s):** _____

Mailing Address: _____

City Province Postal Code

Business Contact Information

Business Name: _____ **Limited Company Name:** _____

Business Phone: _____ **Business Email:** _____

Business Address: _____

Sooke British Columbia

City Province Postal Code

Zoning _____ **CRA Business Number *(If applicable)*** _____

Description of Proposed Business (attach a separate page if necessary)

Number of Owners:	_____	Proposed Opening Date:	_____
Short Term Rental Operator:	_____	Short Term Rental Operator Website:	_____
No. of Parking Spaces:	_____	Sign Required:	<input type="checkbox"/> Yes <small>(Sign Permit Application Required)</small> <input type="checkbox"/> No
Sq. Ft. Total of Residence	_____	Sq. Ft. Total of Business Use	_____
Renovating or Altering Premises:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit #	_____

Detailed Nature of Business (Services being offered, breakfast offered, guests in self-contained suite)

Application Fee Schedule

A complete application includes payment of fees. The fees for business licenses are outlined in Schedule 4 of [District of Sooke Fees and Charges Bylaw No. 752](#); please refer to this Bylaw for complete details.

	FEE	TOTAL
Home-Based Business	\$50.00	
Total Application Fee(s) Due		

Application Requirements Checklist

PLEASE NOTE: All application submissions must adhere to the following naming convention: [YYYY-MM-DD Attachment Title.pdf]. For example, the attachment for the Application Form would be named: 2024-01-01 Application Form.pdf.

Complete application packages can be submitted by email to businesslicence@sooke.ca. If the application cannot be submitted electronically, please contact the Business Licence division at businesslicence@sooke.ca or 250-642-1634 to make alternative arrangements for submission.

REC.	ATTACHMENT	DETAILS
<input type="checkbox"/>	Application Form	Completed Application Form.
<input type="checkbox"/>	Government Photo ID	Government Photo ID of Applicant
<input type="checkbox"/>	Owner's Authorization Form	Signed by all Property Owners registered on Title.



REC.	ATTACHMENT	DETAILS
<input type="checkbox"/>	Corporate Registry/ Company Search	Required only if the registered property owner is a registered company, current within 30 days of application submission.
<input type="checkbox"/>	Application Fee	Per District of Sooke Bylaw Fees and Charges Bylaw No. 752 , payable via cash, cheque or debit.
<input type="checkbox"/>	Tenancy Agreement	Required for short-term rentals when the operator is a tenant. The agreement must specify that short-term rentals are allowed on the property.
<input type="checkbox"/>	Site Plan and Design Drawings	<input checked="" type="checkbox"/> Site Plan: <ul style="list-style-type: none"> <input type="checkbox"/> Civic address of subject property. <input type="checkbox"/> Drawn with a ruler, to scale not required. <input type="checkbox"/> Location and dimensions of all buildings. <input type="checkbox"/> Location and dimensions of driveway. <input type="checkbox"/> Location and dimensions of all parking locations to meet zoning requirements.
<input type="checkbox"/>	Floor Plan	<ul style="list-style-type: none"> <input type="checkbox"/> Civic address of subject property. <input type="checkbox"/> Drawn with a ruler, to scale not required <input type="checkbox"/> Dimensions and uses of all areas and rooms of the building that contain the Short-Term rental, labelled. <input type="checkbox"/> Business space is clearly identified on the plan
<input type="checkbox"/>	Emergency Fire Safety Plan	<input checked="" type="checkbox"/> A floor plan to be displayed at all entrances, exits and in each sleeping unit that must include the following information: <ul style="list-style-type: none"> <input type="checkbox"/> Operators Name <input type="checkbox"/> Address of Property <input type="checkbox"/> Location of fire exits <input type="checkbox"/> Location of window exits that must comply with the size requirements set by the BC Building Code. <input type="checkbox"/> Exit paths and alternate exit paths for each room and area of the unit <input type="checkbox"/> Designated meeting point <input type="checkbox"/> Fire extinguisher locations <input type="checkbox"/> Fire alarm locations <input type="checkbox"/> Smoke/carbon monoxide detector locations <input type="checkbox"/> Electrical panel locations <input type="checkbox"/> Emergency contact number (911) <input type="checkbox"/> Responsible person contact <ul style="list-style-type: none"> <input type="checkbox"/> Name and contact number of local person (Host) who are available 24 hours/day to address immediate concerns
<input type="checkbox"/>	Health and Safety Inspection Checklist for Short-Term Rentals	<input type="checkbox"/> Health and Safety Checklist for Short-Term Rentals
<input type="checkbox"/>	Other	



Application Submission Acknowledgement

- I hereby make an application as specified herein and declare that all the information submitted in support of the application is true and correct in all respects.
- I confirm that all property owners are aware of this application, and I have received consent from all property owners to apply on their behalf.
- I hereby acknowledge that all the information provided herein is collected for the purpose of administering the *Local Government Act* and the bylaws of the municipality under the *Local Government Act*, and under the authority of those enactments.
- I hereby acknowledge that the submission of the Application Form and associated Attachments does not automatically constitute acceptance of the application or approval of a Business Licence.

Important

- Businesses that require signage must apply for a [Sign Permit](#) with the Planning Department. For information regarding sign types, sizes, etc., see the District of Sooke's [Sign Regulation Bylaw No. 480, 2011](#).
- All business licences are issued in conformance with the District of Sooke's [Business Licence Bylaw No. 778, 2021](#)
- The Business Licence must be displayed in a prominent location that can be easily seen.
- All Business Licences expire December 31st and must be renewed no later than the last day of February.
- Business Owners must notify the District of Sooke if they are moving or closing the Business.

PLEASE NOTE: Upon receipt of a complete application, District of Sooke staff will confirm acceptance of the application with the applicant.

Applicant's Signature

Date

Business Licence – Short-Term Rental Health and Safety Checklist

PLEASE NOTE: This Health and Safety Checklist must be submitted as part of the Short-Term Rental business licence application. Only complete applications will be accepted

All spaces to be utilized as a business must have been authorized with a Building Permit and Occupancy Approval for residential use and comply with the standard Health and Safety requirements noted on the checklist.

Bus. Operator Initials	Bldg Official Initials	REQUIREMENT	DETAILS
		Addressing	<ul style="list-style-type: none"> All dwelling units on the property require separate addressing. House and dwelling unit addresses shall be clearly visible from the street. Numbers should be a minimum of 100mm (4 inches) with a contrasting colour to the house.
		Emergency Fire Safety Plan	<ul style="list-style-type: none"> A floor plan to be displayed at all entrances, exits and on the back of the door of each sleeping unit that must include the following information: <ul style="list-style-type: none"> Operators Name Address of Property Location of fire exits Location of window exits that must comply with the size requirements set by the BC Building Code. Exit paths and alternate exit paths for each room and area of the unit Designated meeting point Fire extinguisher locations Fire alarm locations Smoke/carbon monoxide locations Electrical panel locations Emergency contact number (911) Responsible person contact Name and contact number of local person (Host) who are available 24 hours/day to address immediate concerns
		Fire Extinguisher	<ul style="list-style-type: none"> At least one 3A10BC Rechargeable Fire Extinguisher per floor, MOUNTED in a visible, accessible location. When the extinguisher is in a cabinet or closet, the door cover must be clearly labelled. It is to be serviced annually by a certified Fire Protection Technician. A documentation log is to be maintained and may be audited by the District of Sooke Fire Department.



Bus. Operator Initials	Bldg Official Initials	REQUIREMENT	DETAILS
		Smoke Alarm	<ul style="list-style-type: none"> • Interconnected smoke alarms (S/A) shall be CAN/ULC-5531 “Standard for Smoke Alarms” and shall be installed on or near the ceiling. • A S/A shall be located on each story, including basements, additionally a S/A shall be installed in each sleeping room and in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, this S/A shall be located in the hallway. • The S/A shall be wired so that the activation of one alarm will cause all alarms within the entire structure to sound. • S/A are to be tested monthly using the test switch on the smoke alarm or the test method recommended by the manufacturer. The alarm signals shall sound during test. A documentation log is to be maintained and may be audited by the District of Sooke Fire Department.
		Carbon Monoxide Alarm	<ul style="list-style-type: none"> • Carbon monoxide (CO) alarms are required in dwelling units that have fuel-fired appliances (gas or wood) or attached garages and are to conform to CAN/CSA-6.19 “Residential Carbon Monoxide Alarming Devices”. • CO alarms are not to have a disconnect switch between the overcurrent device and the CO alarm where the CO alarm is powered by the dwelling unit’s electrical system. • CO alarms are to be mechanically fixed at a height recommended by the manufacturer’s instructions. • A documentation log is to be maintained and may be audited by the District of Sooke’s Fire Department.
		Wood Burning Chimney (if required)	<ul style="list-style-type: none"> • Provide a certificate or receipt from a certified chimney sweep (WETT certified) that shows the flues have been cleaned in the last year. • Spark arrestor shall be in place on chimneys.
		Bedroom	<ul style="list-style-type: none"> • Bedroom windows are to open without obstruction. • The opening cannot be less than 0.35 sq. m. (3.8 sq. ft) with no dimensions less than 380 mm (15 inches). • Where a window opens into a window well, a clearance of not less than 760 mm (30 inches) shall be provided in front of the window. • There is to be no security grilles that require keys, tools, or special knowledge of the opening.
		Exiting Egress	<ul style="list-style-type: none"> • Pathways to exterior exits, such as hallways and stairs, should always be maintained free and clear of obstructions. • Emergency lighting is not required for single-family dwellings; however, it is recommended to assist guests through an unfamiliar space during a blackout emergency.

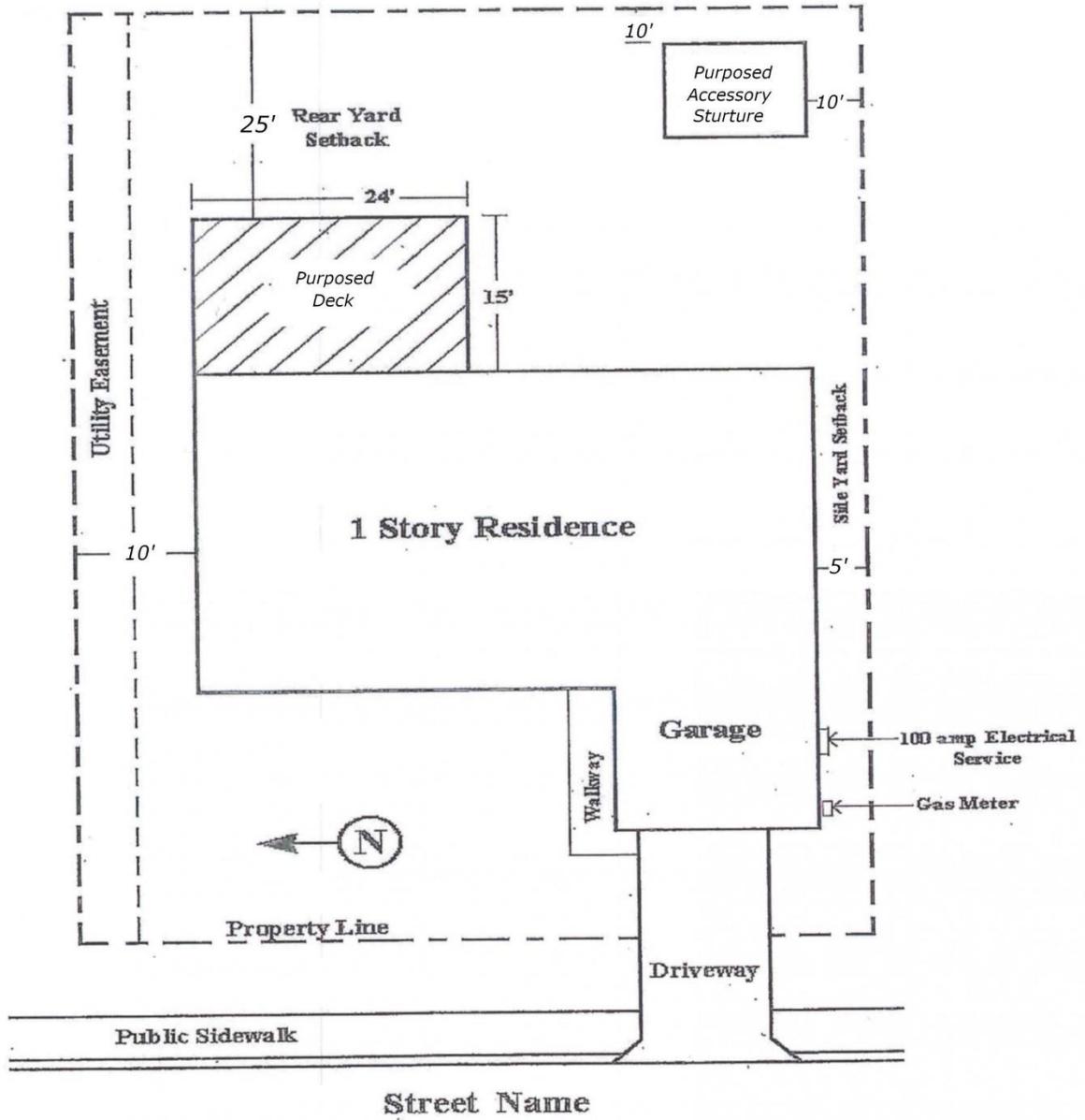


Bus. Operator Initials	Bldg Official Initials	REQUIREMENT	DETAILS
		Stairs, Guardrails, & Handrails	<ul style="list-style-type: none"> Stairs, guardrails, and handrails are to be in good general condition with no missing or damaged steps. Sturdy guardrails and handrails, Treads shall have appropriate rise and run dimensions with a building code-compliant landing. Older homes may require additional or replacement of existing stairs, handrails, and guards
		Deck, Patio, Gazebo, Balcony	<ul style="list-style-type: none"> General safe condition with sturdy guardrails where required. The surfaces are to be firm without dry rot or holes. Stoops and steps from deck are to comply with the applicable building code.
		Garage	<ul style="list-style-type: none"> If a garage is attached to a dwelling unit, the garage main door (door from garage to home) must be a solid door with weather-stripping and self-closing hinges.
		Water Systems	<ul style="list-style-type: none"> Plumbing fixtures must be supplied with a potable water supply. Grey water recycling will not be permitted without specific approvals. Fixtures must have hot on the left and cold on the right. Drainage fixtures must have a trap to ensure sanitary gases will not enter the dwelling. Garden Hose connections must have a back flow device (i.e. vacuum breaker). Hot water tanks shall be installed per the building code including a Temperature & Pressure Relief Valve, safe gas lines, flue vent, and combustion air. An overflow pan and expansion tank are required for any replacement of water heater
		Electrical and Gas Systems	<ul style="list-style-type: none"> No permanent use of extension cords for any reason. Electrical panels must be in general good condition. All circuits are to be accessible and clearly labeled indicating the device or area served. Ground Fault Circuit Interruption (GFCI) should comply with the year the residence was built. Remodeled homes shall have GFCI's installed on all kitchen countertop outlets, in bathrooms, within 6 feet of any sink, as well as in garage and outdoor outlets. A review by a certified electrician or gas fitter may be required if renovation works have been completed without permits. For further information related to electrical and gas systems, please contact the Technical Safety BC at 1-866-566-7233.

Bus. Operator Initials	Bldg Official Initials	REQUIREMENT	DETAILS
		Hot Tub	<ul style="list-style-type: none"> • Hot tubs must have a lockable cover. • Hot tubs located on decks and balconies impose a significant load on structural elements and may be required to be verified by a structural engineer. • Tubs located near a balcony edge (guard) may require additional protection to prevent falling.
		Pool	<ul style="list-style-type: none"> • Swimming pool area must be enclosed by a fence constructed without footholds or grips that children may use to climb into the enclosed area, having a minimum height of 2 metres (6'6") and no openings greater than 100 mm (4") at their greatest dimension with a self-closing and self-latching gate. • Electrical or gas connections shall be completed by a certified electrician.

This guide is provided for convenience and should not be considered a replacement for reviewing applicable bylaws and regulations.

Sample Site Plan

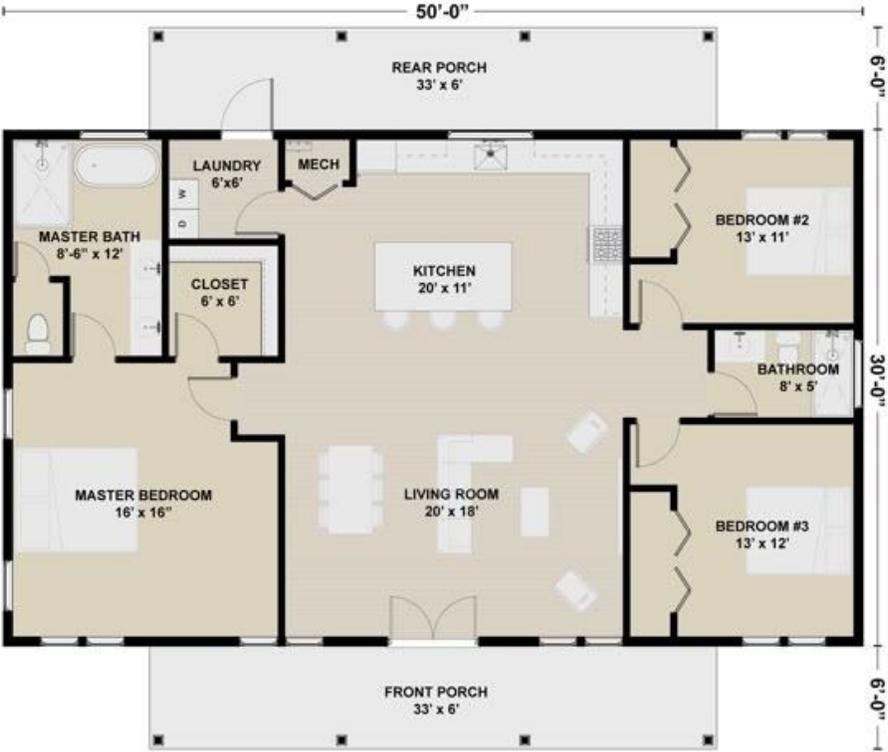


Sample Floor Plan

Include:

Business Name

Address



GROUND FLOOR PLAN

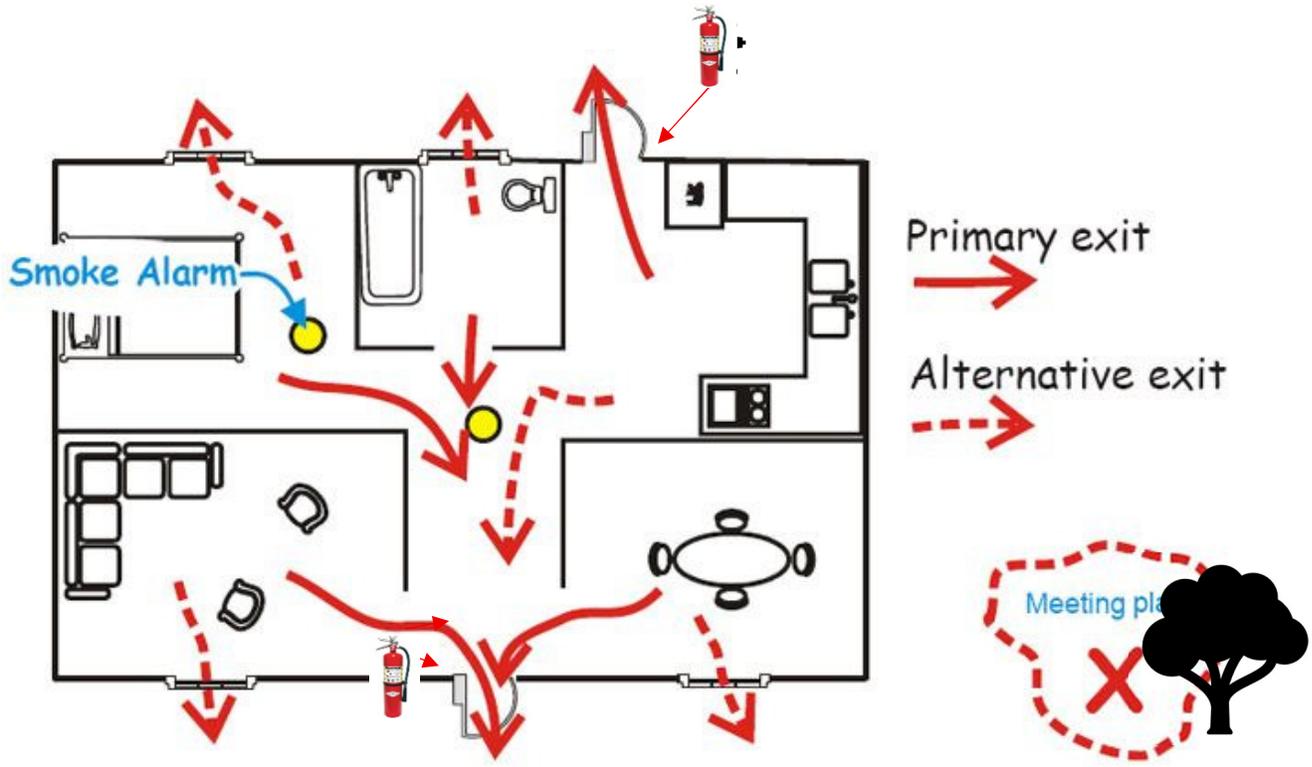
1500SF

#BB-HP110

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build blueprint



FIRE SAFETY PLAN



In an EMERGENCY, CALL 911

Property Owner/Tenant: Mr. Jones
123 Anywhere St
Phone: 555-123-9876